



# HOME INSPECTION SERVICES INC.

## Summary

General Information

Inspection Details

Roof

4

Exterior

2

Framing Members & Structure

2

Plumbing

Electrical

1

Heating and Cooling

Gas Supply & Fixtures

Venting Components

Interior

1

Misc Items

Plumbing

Powered by



SPECTORA

Report Tools ▼

10 Hunters Creek Dr  
Huntsville, TX 77340  
08/26/2022 9:30 am

Inspector  
Raymond Bennett  
TREC#24071



Full Report

Summary

PDF ▾

73

Items Inspected

10

Builder Recommendations

Items Inspected

Builder Recommendations

1 - General Information

Information

### Information: Inspection Date

08/26/2022

Client information: Should attempt to obtain all warranties, guarantees, transferable warranties for: HVAC systems, any foundation work, structural repairs, water proofing, equipment, new roof (possibly age of roof), appliances, equipment, sump pumps, etc. Permits should be researched on all homes especially those of flipped/recently renovated homes  
Please read the entire report. Other observations and narratives or deficiencies may be contained within the body of the report but not in this summary page. Please also use this report as a tool to improve and keep your home in good condition now and for the future because future issues and surprises will always happen when owning a home ex: roof leaks, surprises behind walls that are unable to be viewed, components of the home fail over time, plumbing leaks etc. & remember this report and inspection is only proof of the condition of the home at the time of the inspection and does not guarantee or warranty anything in regards to the condition of the home after the day of the inspection. All items listed in the report were the condition at the time of the inspection that were observed and there are no guarantees for the future conditions or failure of a component regarding the home are giving. 411Home Inspections Services agrees to perform a visual & written inspection report identifying the defects that the inspector both observed and deemed material. 411Home Inspections Services does not perform any re-inspections of a home after the initial home inspection. Reason being the person/company/licensed professional completing the work should provide you with receipts of work completed = they have "stamped" it put their name on it verifying it is done correctly. The report is only supplementary to the sellers disclosure. The comments are only certain recommendations for improvements it is up to the client to decide on any & all repairs needed, all areas of repair should be done by a professional and when reviewing repairs they should always further review evaluate and repair as needed. This report is for the client only listed on the report and not for any other person with intent to or actual completion of purchasing the home. Respectfully submitted 411 Home Inspections Services

2 - Inspection Details

Information

### General Site Information: Style of Home

Single Family 2 Story

### General Site Information: Weather Conditions

Cloudy

### General Site Information: Outside Temperature

80-90 degrees

### General Site Information: In Attendance

Builder

Recommend client gain copies of the pre-drywall inspection from the county inspectors, they may have more information and or areas that need to be repaired prior to drywall. This is not a code compliant inspection

### General Site Information: Rain in the last 3 Days

Yes

Miscellaneous wires are on most homes Time Warner, Cincinnati Bell, Direct TV & Dish. Items not inspected include: Low voltage wiring, oil tanks, working ability of humidifiers, underground sprinklers, landscape lighting, antennas, water softeners, washer/dryer, speaker systems, underground sewer lines & solar powered equipment/generators are not part of a home inspection.

Underground sewer lines are not inspected/not visible, if client has concerns you should hire a plumber to do a sewer scan with camera to ensure no broken sewer lines

Vacant home disclosure & awareness: Vacant homes have a greater potential for developing fungal growth or a microbial growth due to not being lived in, air circulation issues and the potential for leaks to be present when no one is aware which can breed the growth of fungal organisms. Homes built prior to 1989 when the US banned asbestos may still contain this product, not able to inspect behind wallpaper or hidden/blocked items. Home inspectors & Good Eye, LLC are not liable for any issues that arise after we have left the inspection & Good Eye, LLC is not a mold expert and we do not do mold testing. If the client would like a mold test/air sampling completed please refer to this link to find a local mold expert

[Click here EPA link on mold in homes](#)

Homes built prior to 1989 when the US tried to ban asbestos but it was overturned and may still contain this product, not able to inspect behind wallpaper or hidden/blocked items in red mark throughout this report indicating damage or items marked as needing repair may result in further damage or may present a health or safety hazard if not repaired by a qualified contractor . [Link about asbestos products](#)

Possible lead paint in the homes built around 1978 due to age: [Click here for info on lead paint in homes](#)

If you are having an appraisal done on the home the appraiser may point out other areas that the bank will see and future or further inspections & repairs may be needed to secure bank financing. **Items marked in red throughout the report should be repaired/monitored/replaced**

## General Introduction: General Introduction

**Introduction:** The following numbered and attached pages are your home inspection report. The Standards contain certain and very important limitations, expectations and exclusions to the inspection.

**Your Inspector may bring:** to your attention and discuss certain Recommended Upgrades of original and functioning installations and assemblies of Systems and Components that you may wish to consider implementing as part of upgrading your home. These Recommended Upgrades may exceed some of the building and construction standards that applied at the time of the original construction of the home. The differences between any such original building and construction standards and current standards do not constitute "deficiencies" in the subject property. Recommended Upgrades should be performed only by Qualified parties in accordance with all applicable industry standards and governmental requirements pertaining to permits, codes, ordinances, and regulations.

We recommend that client check with the Building and Planning Department to see if there are any "open" or previous permits on a property they are considering purchasing. An "open" permit could prevent another permit from being issued for the property and there could be some outstanding issues that need to be addressed

**Any oral statements made by the Inspector** pertaining to Recommended Upgrades or any inclusion in the Inspection Report of information regarding Recommended Upgrades shall be deemed to be informational only and supplied as a courtesy to you and shall not be deemed to be an amendment to or waiver of any exclusions included in the "Home Inspection Agreement and Standards of Practice."

**Use of photos and video:** Your report includes many photographs which help to clarify where the inspector went, what was looked at, and the condition of a system or component at the time of the inspection. Some of the pictures may be of deficiencies or problem areas, these are to help you better understand what is documented in this report and may allow you see areas or items that you normally would not see. A pictured issue does not necessarily mean that the issue was limited to that area only, but may be a representation of a condition that is in multiple places. Not all areas of deficiencies or conditions will be supported with photos.

**What really matters in a home inspection:** The process can be stressful. A home inspection is supposed to give you reassurance but often has the opposite effect. You will be asked to absorb a lot of information in a short time. This often includes a written report, checklist, photographs, environmental reports and what the inspector himself says during the inspection. All this combined with the seller's disclosure and what you notice yourself makes the experience even more overwhelming. What should you do? Relax. Most of your inspection will be maintenance recommendations, life expectancies and minor imperfections. These are nice to know about. However, the issues that really matter will fall into four categories: 1. Major defects. An example of this would be a significant structural failure. 2. Things that may lead to major defects. A small water leak coming from a piece of roof flashing, for example. 3. Things that may hinder your ability to finance, legally occupy or insure the home. Structural damaged caused by termite infestation, for example. 4. Safety hazards. Such as a lack of AFCI/GFCI outlet protection. Anything in these categories should be corrected. Often a serious problem can be corrected inexpensively to

protect both life and property (especially in categories 2 and 4). Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. Realize that sellers are under no obligation to repair everything mentioned in the report. No home is perfect.

### 3 - Roof

#### Information

#### **Roof Structure**

Radiant Barrier, 2 X 10 Rafters

#### **Viewed Roof Covering From**

Ground with Camera Pole

#### **Roof-Type**

Gable

#### **Chimney (Exterior)**

Not Present

#### **Attic Ventilation**

Soffit Vents, Gable vents, Passive

#### **Attic info**

Attic access

#### **Roof Covering type**

Architectural









### **Roof Covering: Roof Covering Good**

The roof covering was inspected and appears to be in acceptable condition. It is recommended that homeowners practice roof maintenance by keeping the gutters clean, and regularly removing leaves and other debris to allow water to drain effectively from the roof.

Regardless of the type of shingle used, there are two significant factors with regard to wear: Exposure and Slope. Sunlight is one of the biggest enemies of asphalt roofs and in many areas, the south and west exposures wear out the fastest. The steeper the slope, the longer the shingles will last.

As asphalt shingles wear, they lose their granular covering. The granular material protects the shingles from ultra-violet light. As granules wear off, the shingles dry out and become brittle. They crack, buckle and curl. Shingles wear out first where the granular material is lost. This may be due to heavy foot traffic, abrasion from tree branches, erosion from downspouts discharging onto the roof surface, or manufacturing defects.

For more information on Roof Maintenance click [here](#).

### **Shingles Straight and Flat: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Shingles Properly Trimmed around Vents: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Roof, Chimney, Flashing Installed: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Attic Vents Properly Installed: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

## 3.1.1 - Roof Covering







### Tree impending roof

At the time of inspection the inspector observed tree limbs impending the roof. During high strong winds the limbs may break off and damage the roofing material. Recommend to have a professional tree trimming company to provide quotes and recommendations.



Tree Service

### 3.2.1 - Shingles Straight and Flat



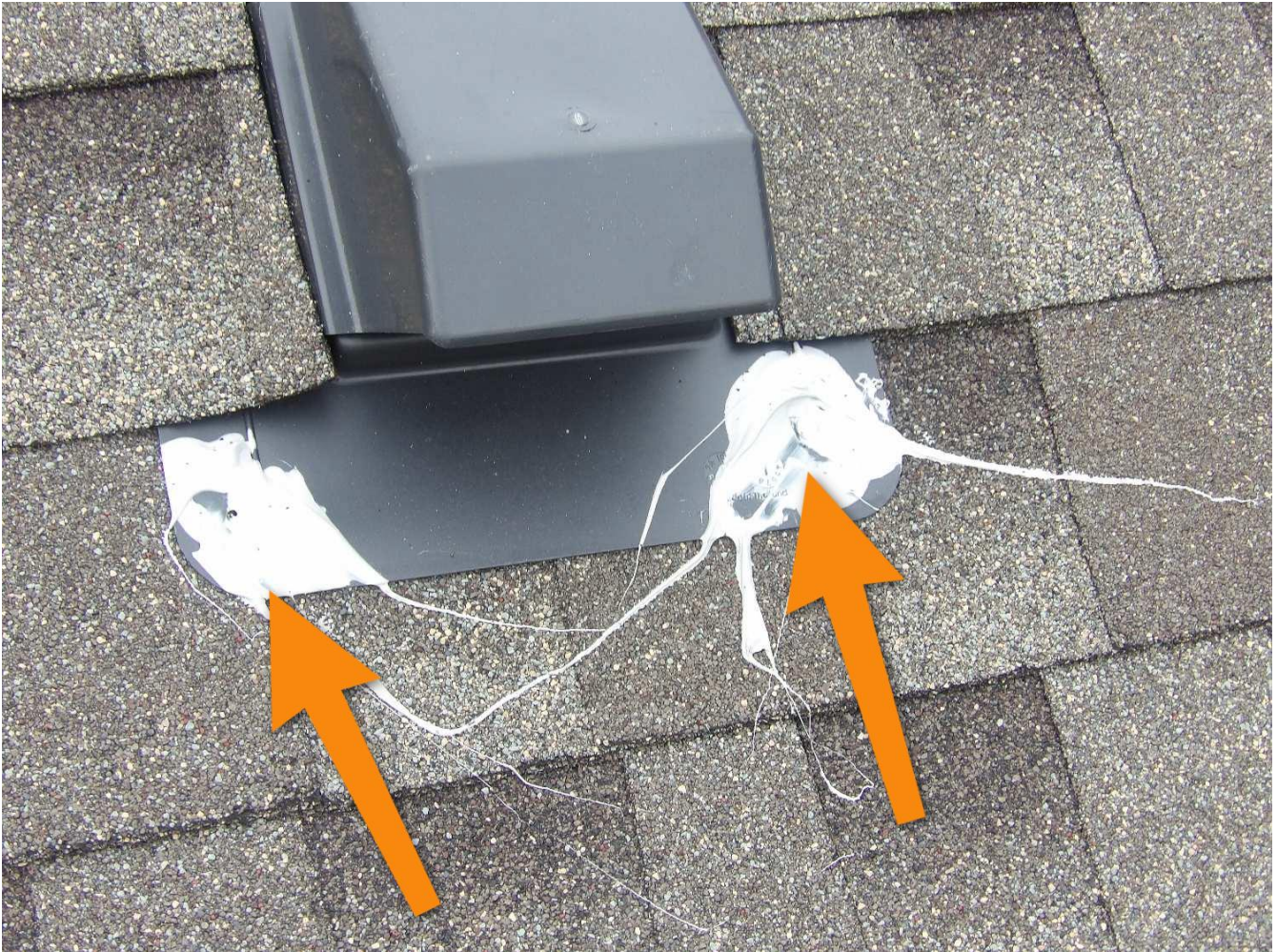
### Wavy Shingles

The Shingles were wavy and not installed straight. We recommend to inspect and repair.



Builder

### 3.4.1 - Roof, Chimney, Flashing Installed



#### Flashing Sealant Bad

At the time of the inspection, the Flashing was dependant upon sealant to help prevent moisture intrusion into the roof structure. Some separation and/or cracking of the installed sealant was visible at the time of the inspection, this will increase the potential for moisture intrusion. We recommend to inspect and repair.



Builder

### 3.4.2 - Roof, Chimney, Flashing Installed







#### Improper fasteners on flashing

At the time of inspection the inspector observed improper fastener on the flashing around roof boots and step flashing. Recommend to have a qualified roofing contractor for further evaluation.



Roofing Professional

4 - Exterior

Information

Limitations

#### **Exterior Wall Sheathing**

OSB

#### **Exterior Entry Doors**

Wood (Appear to be temporary doors)

#### **Wall Sheathing: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.



**House Wrap : Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**House Wrap : Siding Installed at time of Inspection**

Siding was installed at time of inspection.





### **Fascia & Soffit: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Windows-no cracked broken glass-flashing installed well: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Exterior Doors: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

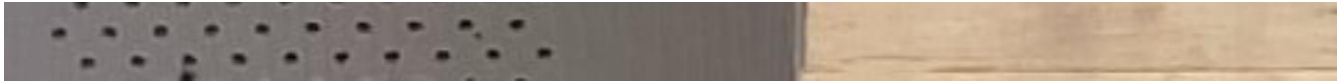
### **Porches: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### 4.3.1 - Fascia & Soffit







Damaged Soffit  
Soffit damage at the front left. corner.



Builder

4.7.1 - Foundation





Exposed rebar  
Rebar exposed at rear of the home.



Builder

5 - Framing Members & Structure

[Information](#)

**Ceiling Structure**

2X4

**Wall Structure**

Wood

**Floor Structure**

Slab

**Foundation**

Poured concrete

**Interior foundation: Poured concrete**



### **Roof Structure: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Roof Sheathing : Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Ceilings Structure: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Ridge,Hip & Valley Rafters properly Braced: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Support Hangers Installed on all Required Components: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Attic Access Properly Framed: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Garage Door Opening Properly Sized: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Door/Window Cripples Installed: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Headers Properly Sized & Supported: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Headers & Beams properly Nailed: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Strike Plates Properly Secured: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Proper Stud Spacing, Anchor bolt nuts : Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

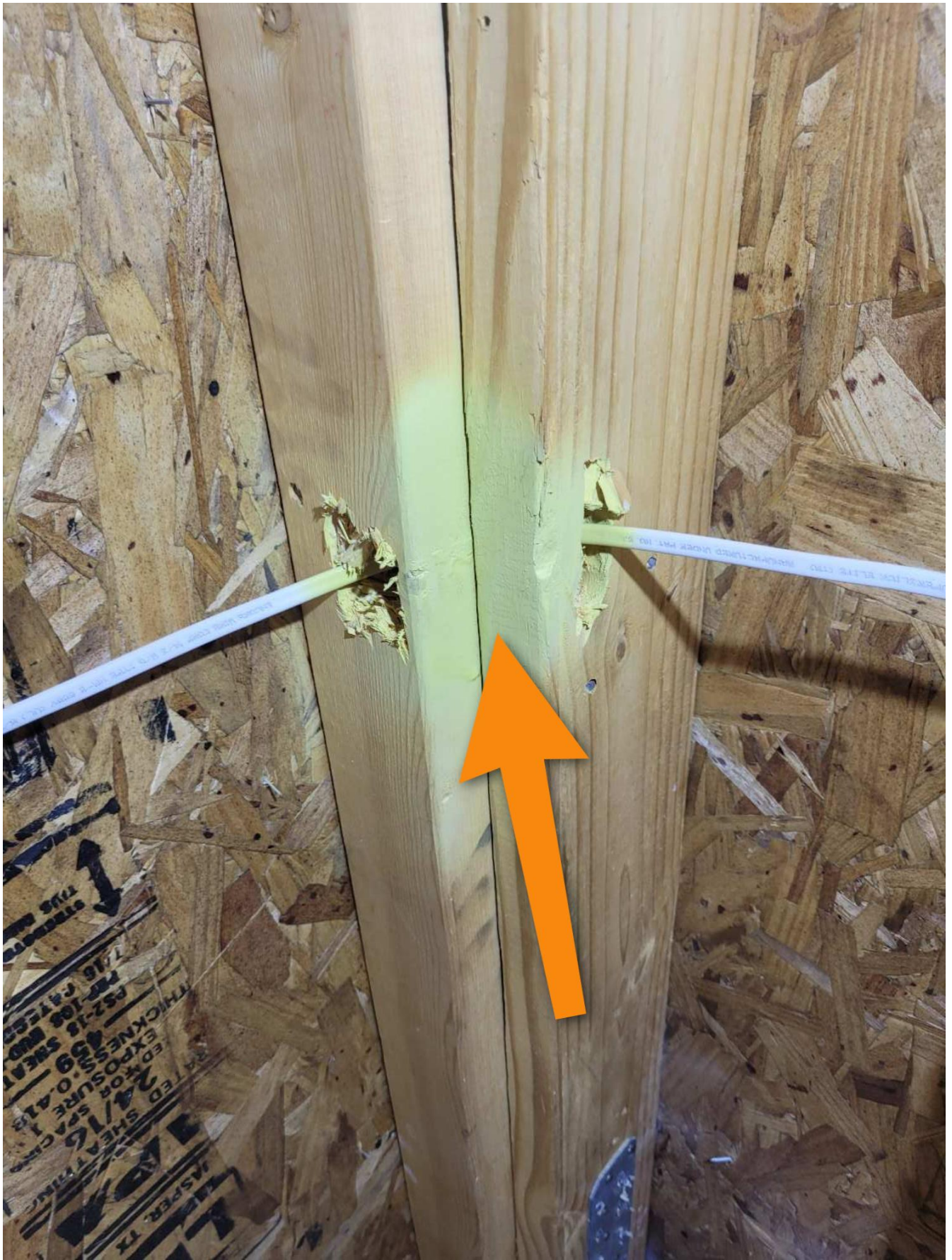
#### **Fireblocks & Fire Stops in Place: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Roof to Wall Connections: Visual Inspection**

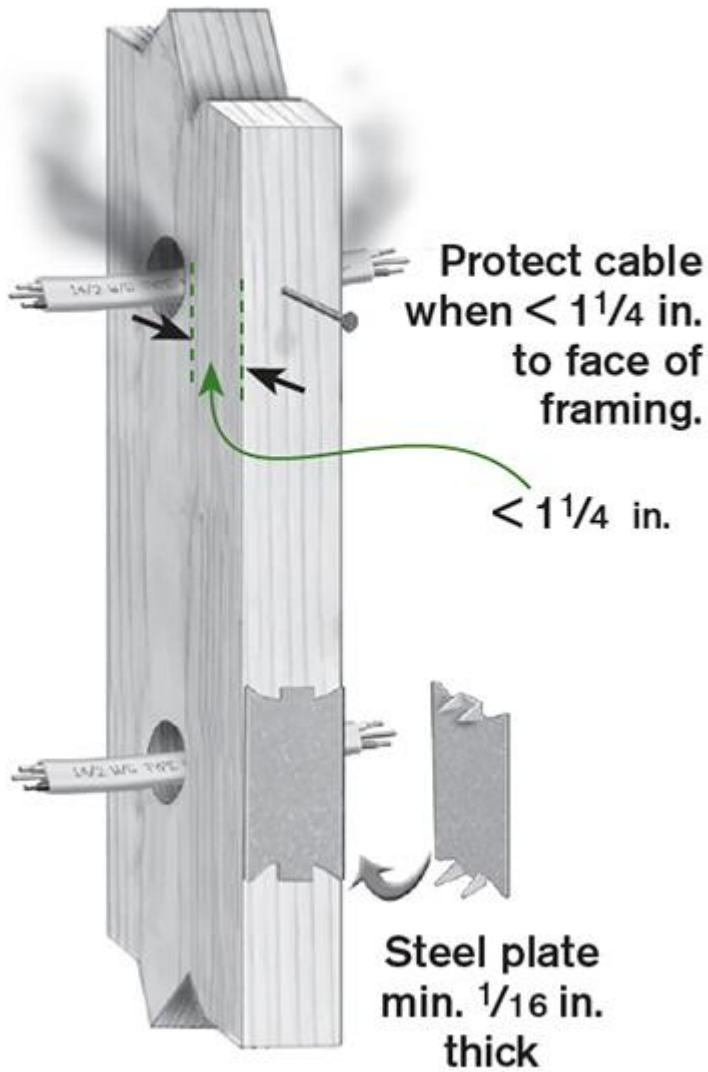
Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### 5.12.1 - Strike Plates Properly Secured

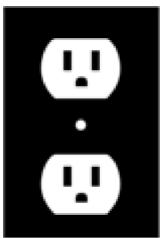


**FIG. 44**

## Nail-Plate Protection

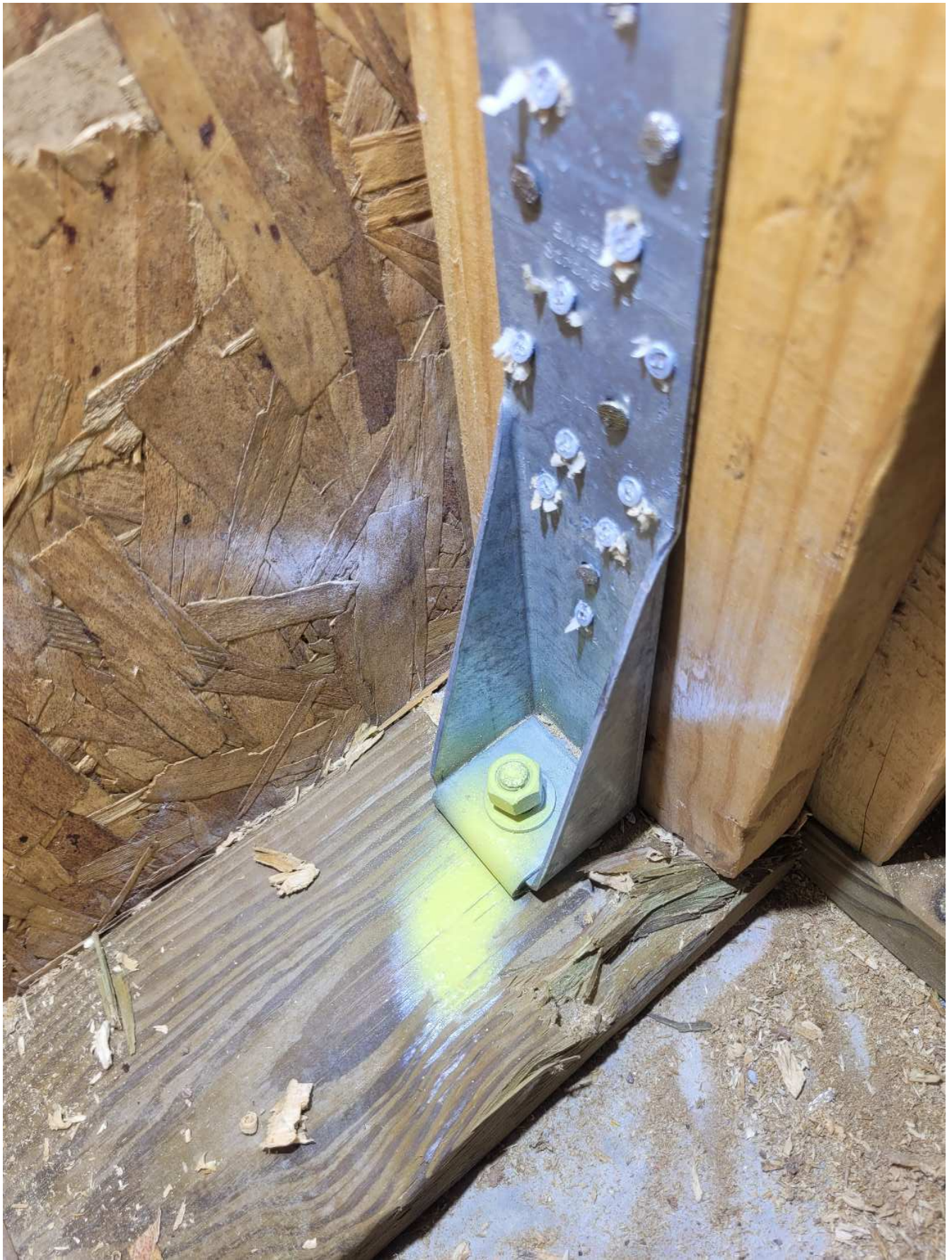


Strike/Nail Plate protection

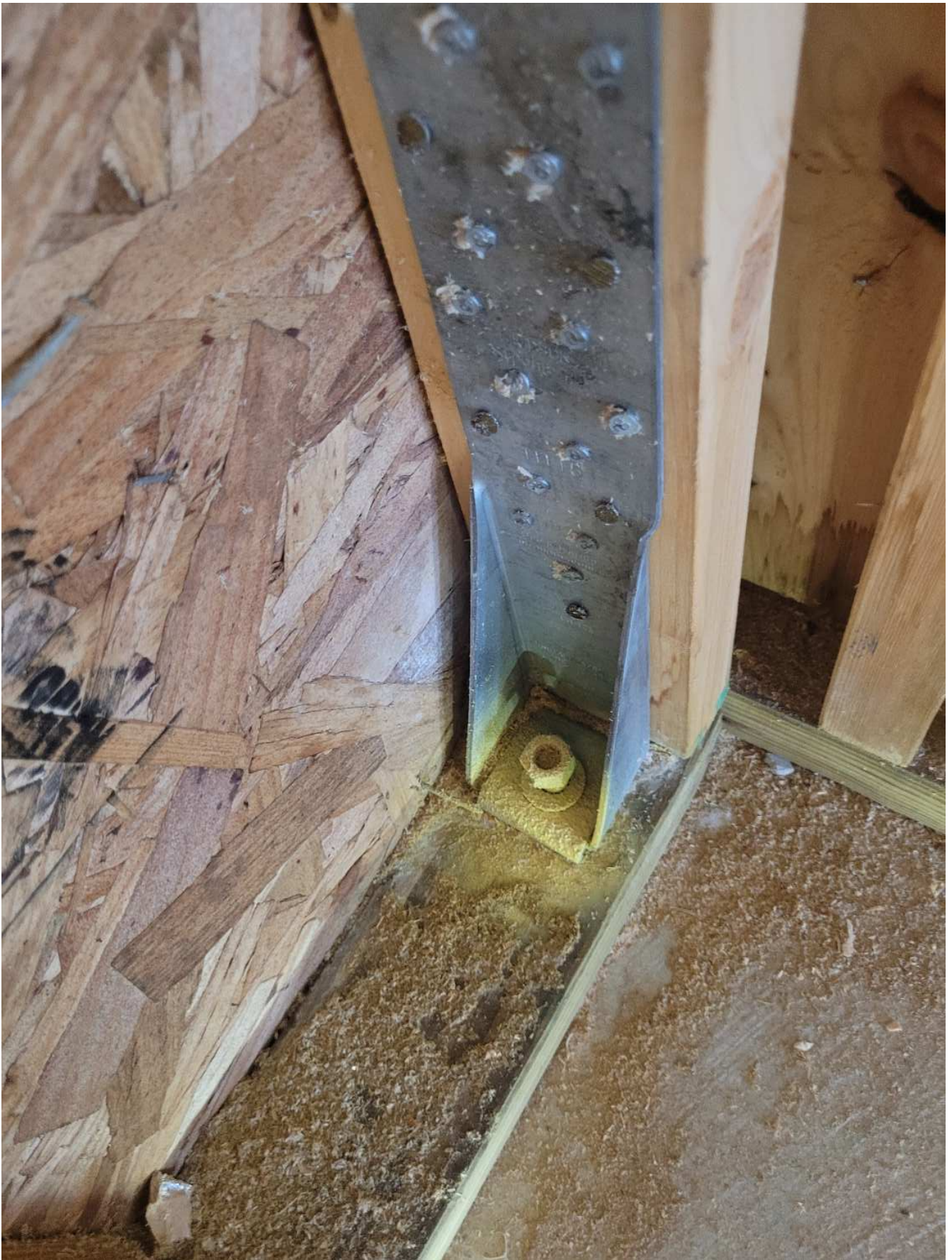


Electrical Contractor

5.14.1 - Proper Stud Spacing, Anchor bolt nuts







Anchor bolts



Qualified Professional

6 - Plumbing

Information

**Water Supply For Home**

Public

**Sewage Disposal**

Public

**Plumbing Waste**

PVC

**Water Heater Power Source**

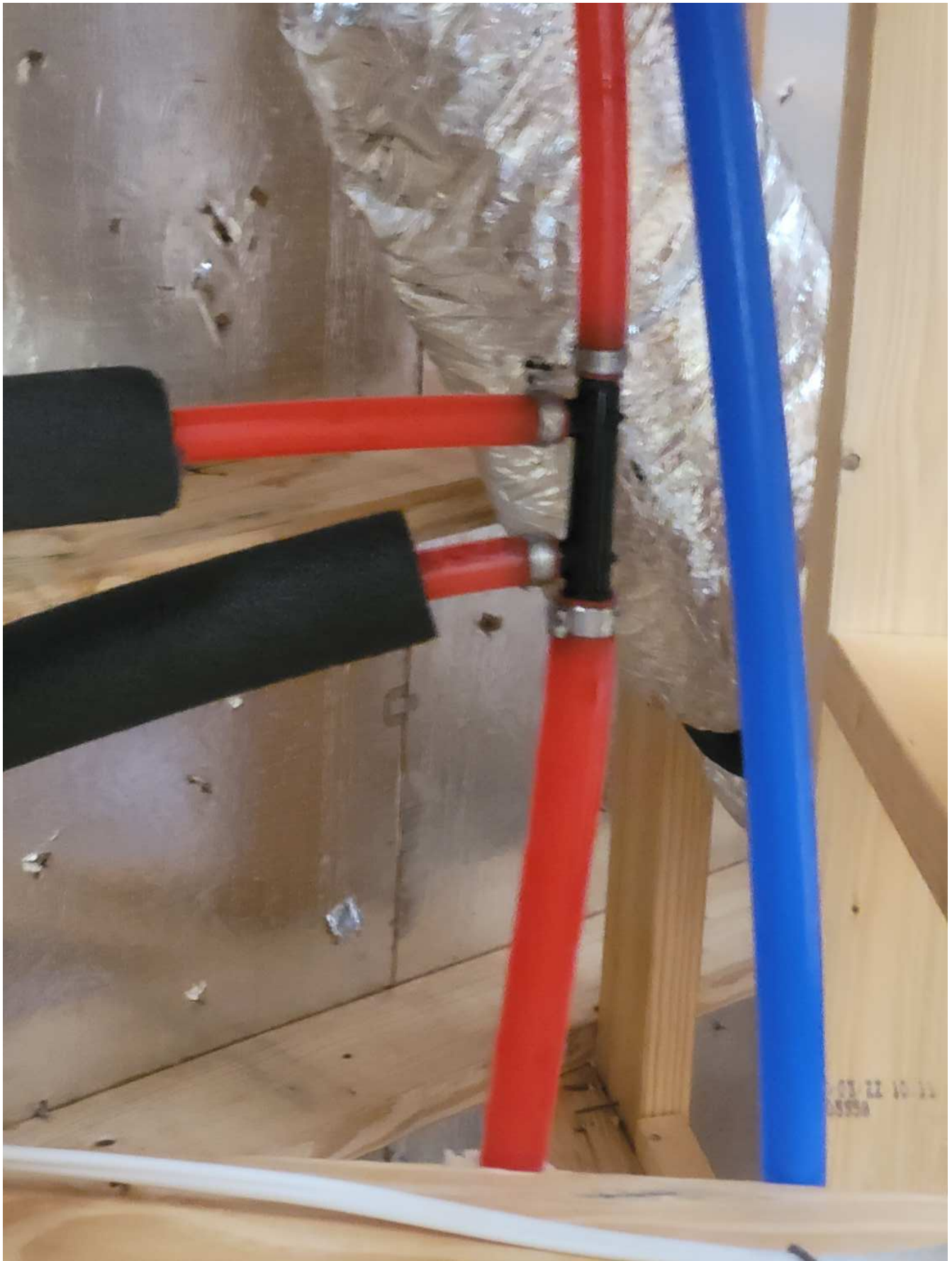
Electric

**Shower Arm Secure: Secured**

Properly Secured

**Plumbing Water Distribution (Inside Home)**

PEX



**All Stub Outs Secure: Secured**  
Properly Secured



**All Stub Outs Secure: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**Shower Arm Secure: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**Pipes Properly Placed Inside Wall: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**Nail Guards Properly Installed & Secured: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**Drains Have Visible Fall: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

7 - Electrical

Information

**Electrical Service Conductors**

Below ground

**Branch wire 15 and 20 AMP**

Copper

**Panel Type**

Circuit breakers

**Wiring Methods**

Romex

**Grounding**

Foundation Rebar Ground (Ufer), Grounding Rods

**Wiring: In place stapled well in most locations**

**Electric Panel Manufacturer**

Siemens



#### **Meter Box Set : Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Breaker Panel Set: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Grounding/Bonding Wire Properly Secured: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

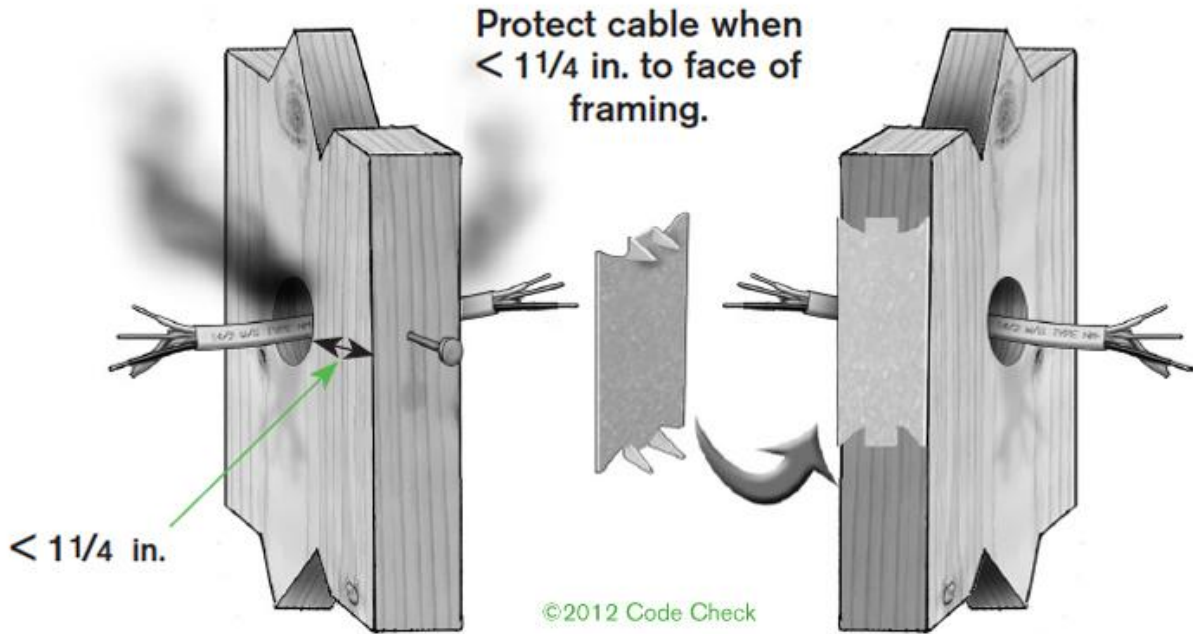
#### **Nail Guards Present & Properly Installed: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **7.4.1 - Nail Guards Present & Properly Installed**



## Nail-Plate Protection



### Missing Nail Guards

Nail Guards were missing in various locations at the time of inspection. Provided a few reference photos. Builder should inspect entire home and install as per code requirements.



Builder

8 - Heating and Cooling

Information

### Energy Source

Electric

### Number of Heat Systems

One

### Ductwork

Insulated

### Cooling Equipment Energy Source

Electricity

### Central air location

Rear of the Home

### Ducting Properly Installed and Sealed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

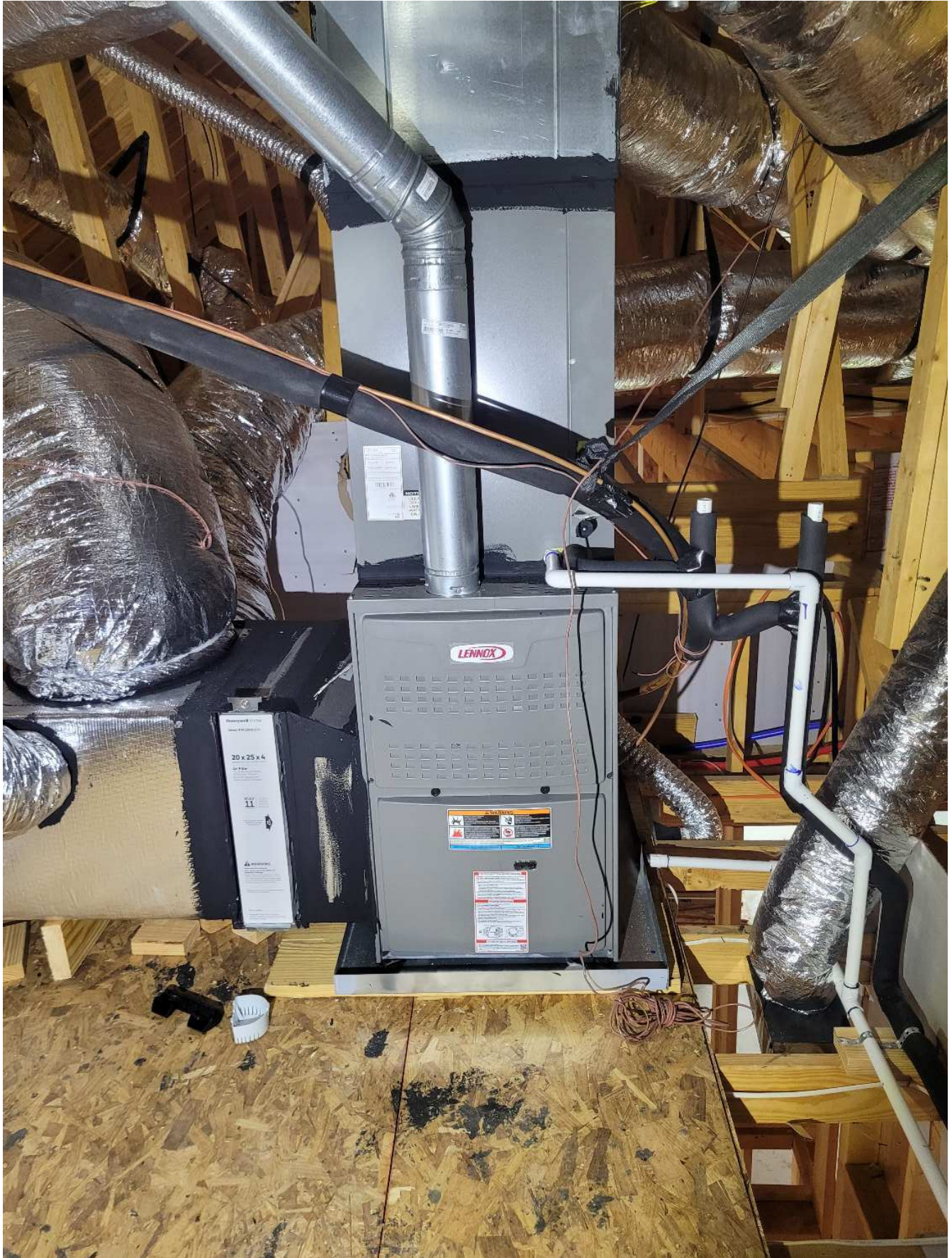
### Return Air Duct Not Obstructed and Sealed: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.



## Presence of installed Heat/Cooling source in each room: Visual Inspection

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.





**LENNOX**  
DALLAS, TEXAS

ASSEMBLED  
IN MEXICO

**M/N CX35-49C-6F-20**

**S/N 1522G46537**

**REFRIGERANT**

**SEE BELOW**

**DESIGN PRESSURE**

**MIN 448 PSIG**

MATCH METERING DEVICE WITH REFRIGERANT (R22 OR R410A)

REFRIGERANT EVAPORATOR ALSO SECTION OF HEAT PUMP



1522G46537



9 - Gas Supply & Fixtures  
Information  
**Gas Supply**  
Not Present

## 10 - Venting Components

### Information

#### **Bathroom Vents Installed and Properly Sealed & Terminated: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

#### **Dryer Vent Installed and Properly Sealed & Terminated: Visual Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.



#### **Hood Vent: Visible Inspection**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.



11 - Interior  
Information

**Window Types**

Fixed, Single-hung

**Ceiling Framing: Roof sheathing dry at the time of the inspection**

**Walls & Columns Plumb/Bowed: Inside sheathing dry at the time of the inspection**

**Ceiling Framing: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**Walls & Columns Plumb/Bowed: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**Stairs, Steps, Landings, Stairways & Handrails: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.





**Stairs Properly Framed and Railing Block Installed: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**Sub-Flooring Installed & Secured: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Cabinet/Vanity Blocking Installed: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

### **Hardware Blocking Installed: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

This is not required by the Builder but a good recommendation to allow the towel bars, toilet paper holders etc to be secured better and prevent damage later during normal use.







**Tub/Shower Blocking Installed: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**Tub, Shower Level: Visually Inspected**

Only the visible areas were inspected at the time of inspection. No deficiencies noted to visible areas unless otherwise noted below.

**11.2.1 - Walls & Columns Plumb/Bowed**



Damaged Blocking



Builder

12 - Misc Items  
Information  
13 - Plumbing  
Information